

# THE NEW W. EDWARD BALMER SCHOOL

NORTHBRIDGE, MASSACHUSETTS



## SCHOOL BUILDING COMMITTEE MEETING

MAY 8, 2019



Massachusetts School Building Authority  
*Funding Affordable, Sustainable, and Efficient Schools in Partnership with Local Communities*



# AGENDA

- **CD Progress Report**
- **Design Refinements**
- **Follow up to Value Engineering Items**
- **Proprietary Items**



# CD PROGRESS REPORT

- 4/23 Planning Board meeting
- 4/25 Safety Committee meeting
- 5/1 Sewer Capacity Analysis Meeting w/ CDM
- 5/3 Non-Trade Contractors Review conf. call.
- 5/3 Consultants submitted 60% CD Pricing Drawings & Specs
- 5/7 Acoustical Conference Call
- 5/8 Technology Meeting
- 5/8 Working Group Meeting

**Ongoing:** Internal coordination, consultant coordination, phone calls & conference calls. Drawing & Specification progress.

**Next Deadline: 5/17/19** – Issue 60% CD Pricing Set to Estimators/  
Fontaine issues ERP #1 to Site Subs for bidding

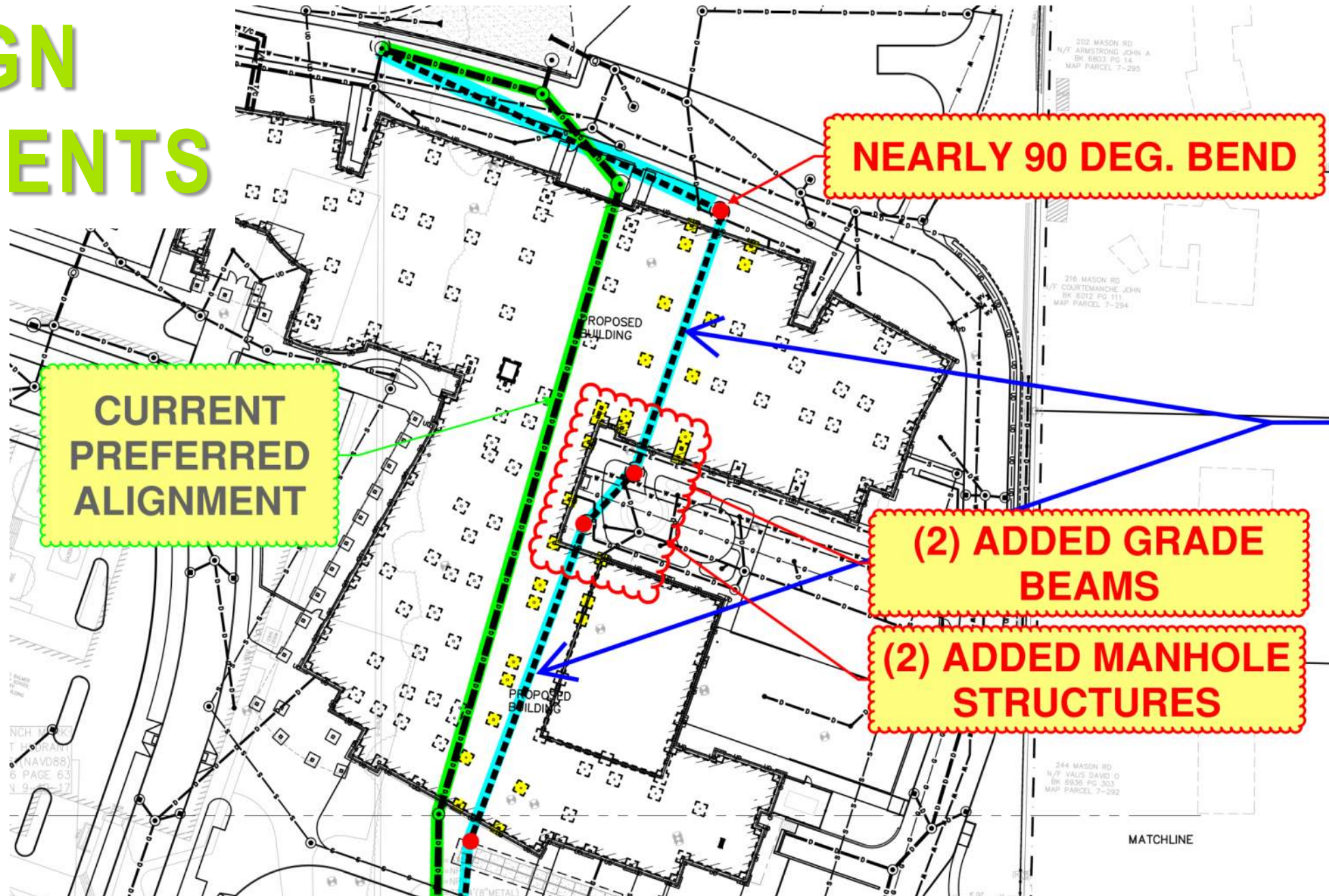




# DESIGN REFINEMENTS

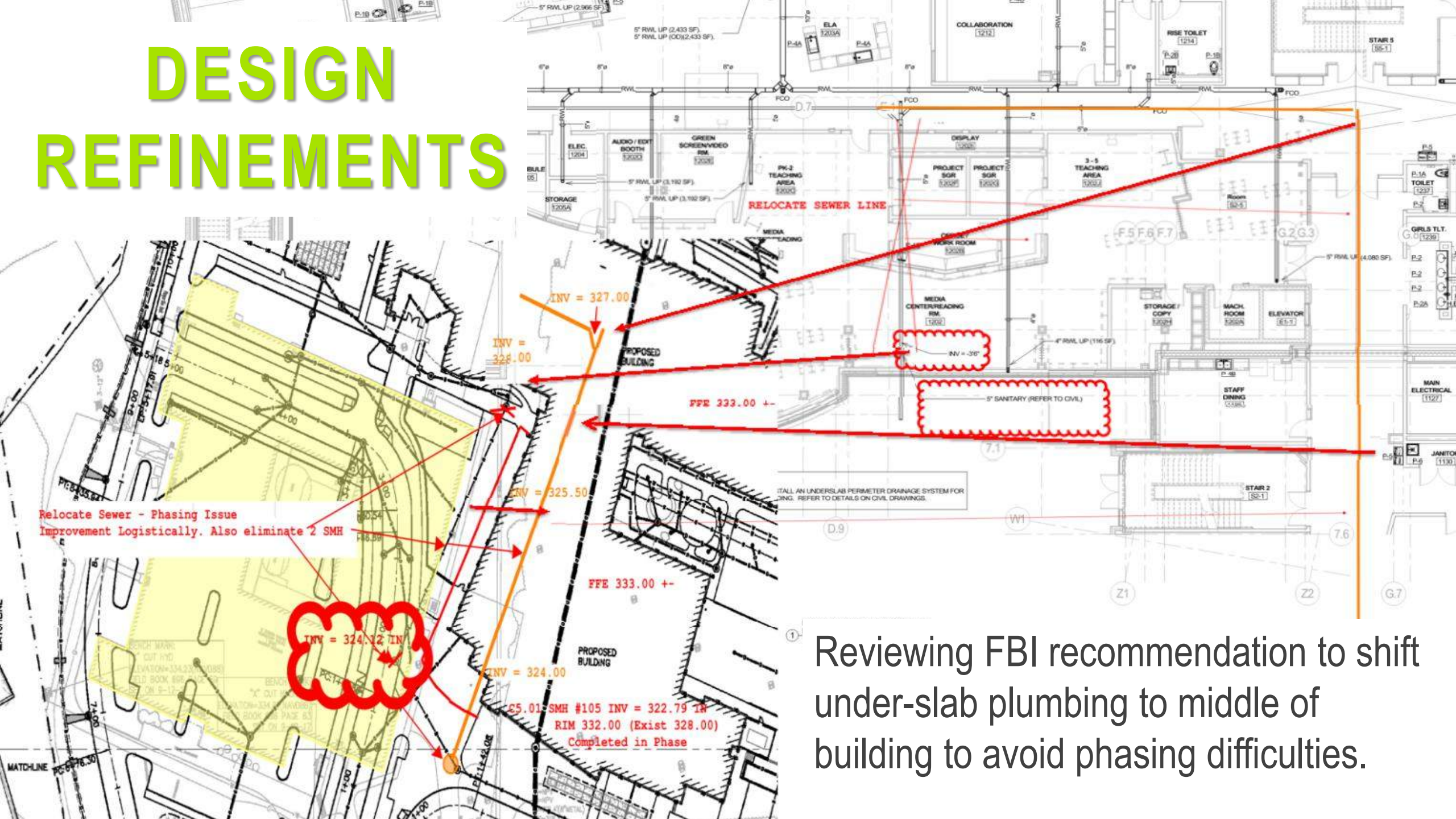
Not adopting Peer Reviewer proposed alternate alignment of 36" drain pipe under the building.

Researching structural capacity of ductile iron pipe & soil pressure with Geotech Engineer.



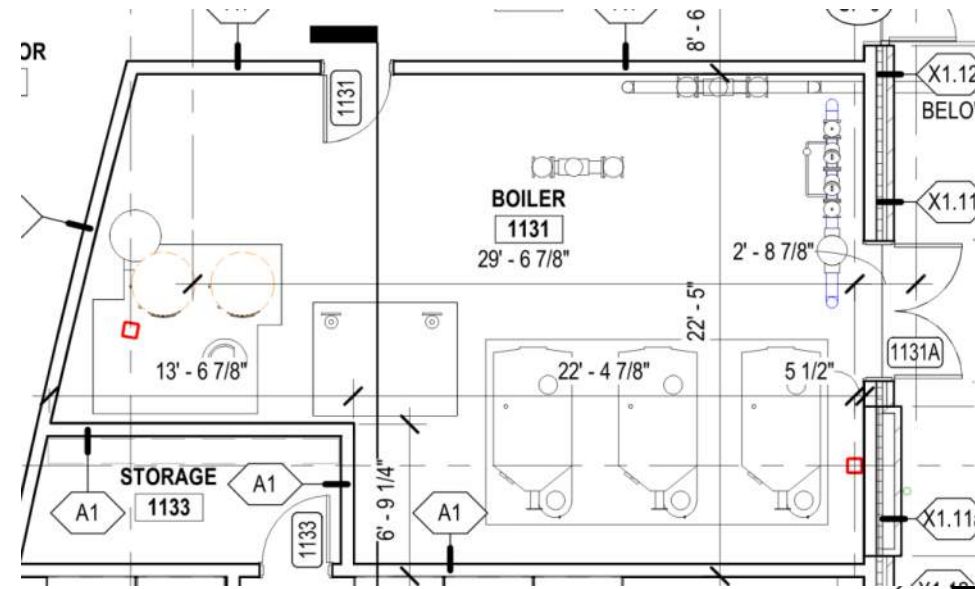


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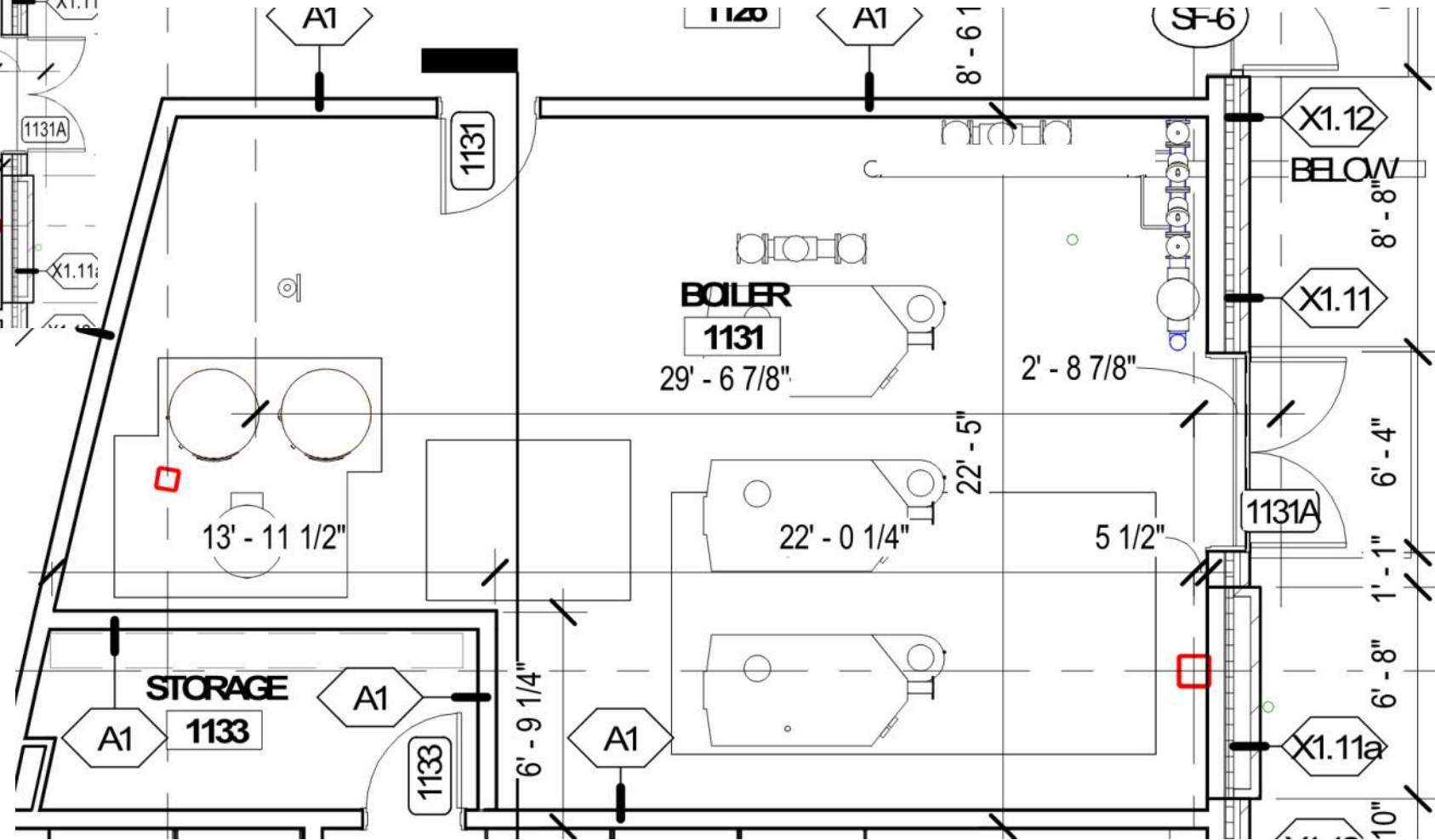


Reviewing FBI recommendation to shift under-slab plumbing to middle of building to avoid phasing difficulties.

# DESIGN REFINEMENTS



Previous layout



Rearranged Boiler Room to create better working clearances, clear egress doors

# DESIGN REFINEMENTS

- Coordinating roof drainage to match revised infiltration requirements
- Ongoing Structural coordination with Architecture, M-E-P-FP
- Incorporating review comments from DD set:
  - Acoustical Consultant
  - Commissioning Agent (CxA)
  - OPM
  - MSBA
  - Owner (SBC)
- In-house, ongoing redlines and QA/QC Manager Review





# FOLLOW UP ON VALUE ENGINEERING ITEMS

|      |  |             |          |
|------|--|-------------|----------|
|      | <b>Site / Civil</b>  |             |          |
| C01  | Delete west edge gravel wetlands, mono-pitch west entry drive to swale, change catch basin type                        | (\$285,450) | ACCEPTED |
| L#33 | At north side of north access loop change Cape Cod Berm to sloped granite (+ADD)                                       | \$36,006    | ACCEPTED |
|      | <b>Landscape</b>   |             |          |
| L01  | Provide 4" sloped granite curbing ILO 5" vertical granite at non-sidewalk locations - 5,056 LF                         | (\$39,009)  | ACCEPTED |
| L02  | Provide Bituminous side walks ILO concrete at areas not within inner curb line - Vail Field walks                      | (\$56,736)  | ACCEPTED |
| L03  | Delete northwest corner segment of new fence and retain (repair as needed) existing 8ft fence along west property line | (\$40,463)  | ACCEPTED |



# FOLLOW UP ON VALUE ENGINEERING ITEMS

|     | Architectural, Exterior Items:  |             |                                      |
|-----|---|-------------|--------------------------------------|
| A01 | Provide Utility sized brick ILO standard Modular sized brick on entire building.                  | (\$90,585)  | ACCEPTED                             |
| A02 | Optimize mechanical screen sizes - reduce LF by 20%   | (\$104,720) | ACCEPTED                             |
| A03 | South Elevation A-B Wings: Change cladding from HPL Panel to Brick -<br>1,123 SF      \$29.84 SF  | (\$33,507)  | ACCEPTED                             |
| A04 | North Elevation A-B Wings: Change CW glazing to HPL Panel system -<br>168 SF      \$30.25 SF      | (\$5,082)   | ACCEPTED                             |
| A05 | East & West Elevations A-B Wings: Change SF glazing to Brick cladding -<br>103 SF      \$28.25 SF | (\$2,910)   | ACCEPTED                             |
| A06 | Provide Split Face CMU in lieu of Cast Stone Base, all elevations.                                | (\$76,500)  | REJECTED                             |
| A07 | ADD - Provide small, portable Roof Hoist at roof hatch curb                                       |             | CONSIDER IN<br>FUTURE FF&E<br>BUDGET |
| A08 | Delete specified exterior mock-ups and go with in-place ILO                                       | (\$41,000)  | REJECTED                             |

# FOLLOW UP ON VALUE ENGINEERING ITEMS

|     |  |            |                                |
|-----|--|------------|--------------------------------|
|     | <b>Architectural, Interior Items:</b>  |            |                                |
| A09 | Provide swinging full-height fire doors [(2) pairs @ 4' w x 9' tall] ILO "Won-Door" sliding fire door (3 levels) | (\$66,932) | DW TO PROVIDE MAINTENANCE INFO |
| A11 | Delete blackout shades from exterior windows - provide light-filtering fabric shades only                        | (\$22,100) | REJECTED                       |
| A12 | ADD - Provide Hard Divider partition ILO fabric/mesh curtain as specified.sensor edge, STC 49                    | \$60,844   | REJECTED                       |
| A13 | Stair 5 - Reduce amount of fire-rated glazing/ economize design.   | (\$56,635) | REJECTED                       |
|     |  |            |                                |
|     | <b>Plumbing:</b>   |            |                                |
| P01 | Delete drinking fountains in PK ELA #1203A, Kinder ELA #1223A  | (\$7,020)  | ACCEPTED                       |

# PROPRIETARY ITEMS

No new updates.







***Thank You!***