

THE NEW W. EDWARD BALMER SCHOOL

NORTHBRIDGE, MASSACHUSETTS



SCHOOL BUILDING COMMITTEE MEETING

APRIL 2, 2019



Massachusetts School Building Authority
Funding Affordable, Sustainable, and Efficient Schools in Partnership with Local Communities



AGENDA

- **DD Progress Report**
- **Proprietary Materials**
- **Response to Owner's Comments**
- **Value Engineering Items**



DD PROGRESS REPORT/ NEXT STEPS

- 3/19 SBC reviewed Final DD Estimate
- 3/20- 4/2 Assemble MSBA DD Submission Binder
- 3/27- 4/3 Finalize DD Drawings and Specifications
- 4/2 SBC Review final DD documents
- 4/3 Submit Conservation Committee permit package
- 4/5 Submit DD document package to MSBA
- 4/9 Submit Planning permit package
- 4/8 **Construction Documents (CD) Phase begins**



PROPRIETARY ITEMS

SECTION	ITEM	LOCATION IN PROJECT
05 12 00	FERO Anchor Systems – “melt-away” clips that join fire wall to structural steel frame	At fire wall, both sides
08 35 13.23	Folding Fire Separation Doors: “Won-Door” Corporation accordion horizontal-acting automatic fire door. Possible VE/ AHJ/ SBC veto item	Three (3) fire wall passage doors, one each level of the building.
08 63 00	Metal-Framed Skylights – Translucent Panel Skylight: Kalwall or Major Industries (2 options) Structures Unlimited is third mfr. – see note at right	Two skylights, over Stair 5 and Light well adjacent to Media Center
08 71 00	Door Hardware - Lockset Cores and Keys: Schlage “Primus”.	All building locksets and locking door hardware



08 80 00	Protective Glazing Assemblies - Insulated Batter-Resistant Glazing: School-Guard "SG-4" OR: 3M S&S Window Films (2 options)	Main entry vestibule, main office windows, and Pre-K Vestibule glazing
08 80 00	Translucent Glazing: "Solera" insulated translucent glazing units, OR "Okalux Plus" insulated translucent glazing units (2 options)	Gymnasium clerestory windows
09 84 30	Sound-Absorbing Wall Units: Direct-attach wall panels: Knauf Ecosse and Akusto Texona	Cafeteria, OT/PT rooms, Music Rooms, Library-Media Center, ELAs
09 84 30	Sound-Absorbing Wall Units for High Abuse Locations: Armstrong "Tectum" direct attach panels	Gymnasium walls
10 44 00	Exterior Fire Protection Specialties: "Knox Box" Series 3200 rapid entry system	Front and rear building entrances. Two locations.



PROPRIETARY ITEMS

23 00 10	BMS/ Mechanical Controls Johnson Controls	Building HVAC Controls
27 20 00	Data Communication System, Network Switches: Aruba 5400 series	At MDF Room.
27 20 00	Data Communication System, VOIP Telephone System: TBD	Throughout the school.
27 20 00	Data Communication System, Wireless Access Points: Aerohive, AP250 and/or AP550.	Throughout the school.
28 10 00	Integrated Access Control/ Intrusion Detection/ Video Surveillance Platform/System: TBD	Throughout the school.



RESPONSE TO OWNER'S COMMENTS

**Refer to printed handout
in Agenda packet.**



RESPONSE TO OWNER'S COMMENTS

ITEMS 4,14: The parking lot islands are required by
Northbridge Zoning Bylaws.

“173-27.F Landscaping requirements. All nonresidential parking lots shall be effectively landscaped to reduce the visual impact of glare, headlights and parking lot lights from the public right-of-way and from adjoining properties. In addition, parking lots shall be adequately shaded to reduce the amount of reflected heat.

173-27.F.(3) Landscaping in interior areas. Landscaping areas shall be provided for interior parking areas so as to provide visual and climactic relief from broad expanses of pavement and to channelize and define logical areas for pedestrian and vehicle circulation.

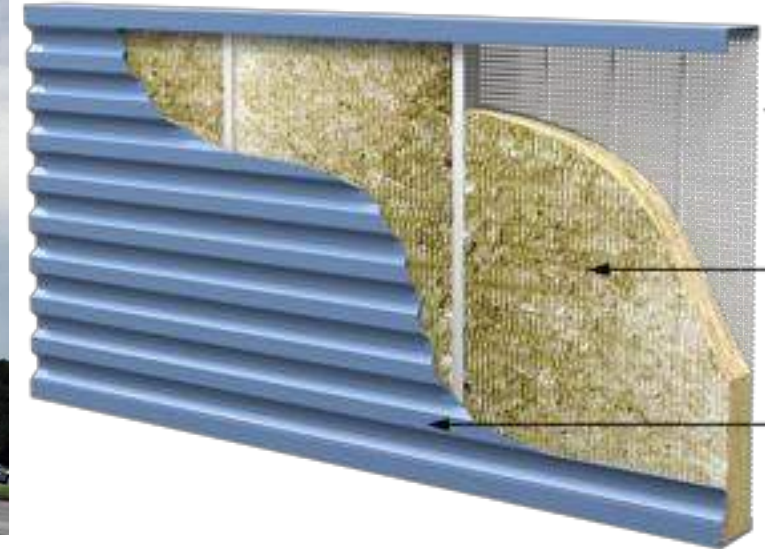
(a) Interior parking areas shall be deemed to be all parking areas.

(b) At least 5% of the gross area of the interior parking area shall be landscaped. These landscaped areas shall include trees sufficient to provide shading of parking areas.

(c) Interior landscaped areas shall be dispersed so as to define aisles and limit unbroken rows of parking to a maximum of 100 feet. Landscaping between rows of parking shall be at least eight feet in width.”



VE LIST - ALTERNATES



	DWG reference	Alternates (not yet in order of preference)	
1		Add - SecureShades on all relevant exterior windows and interior borrowed lites	\$950,000
2		Add - SecureShades on all relevant 1st Level exterior windows and all interior borrowed lites	\$720,000
3		Add - digital site signage at Crescent St. entrance	\$43,000
4		Add - acoustically absorptive roof screens ILO open louver design at all screens	\$428,400



DELETE
GRAVEL
WETLANDS

Rain Guardian—Turret

Standard exterior dimensions:

46" x 50" base, 19.5" total height

Turret price:

Fiberglass grate (1,760 lb. concentrated load)—Contact ACD



Fiberglass grate (2-piece)

Anodized aluminum filter
frame and fiberglass filter grid

Steel reinforced, cold joint
secured monolithic concrete
riser and base (1,030 lbs.)

Manufactured by: **FORTERRA**
Structural & Specialty



USE AN INLET STRUCTURE SIMILAR TO INLET
SHOWN IN PICTURE

PITCH ROAD
TOWARD
SWALE

PITCH ROAD
TOWARD
SWALE

VE LIST: C01/ ITEM 14 & 31

C01	VE/Item 14 & 31	Delete west edge gravel wetlands, pitch entry drive to swale, change catch basin type - see attached drawing	(\$285,450)
	Items 5 & 15	Retaining Wall: Provide more plain "rusticated" block ILO "rock face" block	(\$8,000)



VE LIST: ITEM 5 & 15

C01	CS.00- VE/Item 14 & 31	Delete west edge gravel wetlands, pitch entry drive to swale, change catch basin type - see attached drawing	(\$285,450)
	Items 5 & 15	Retaining Wall: Provide more plain "rusticated" block ILO "rock face" block	(\$8,000)



VE LIST: L01

L01	L2.2-2.3	Provide 4" sloped granite curbing ILO 5" vertical granite - 5,056 LF see attached drawings	(\$39,009)
L02	L2.30	Provide Bituminous side walks ILO concrete at areas not within inner curb line - see drawing	(\$56,736)
L4.30	Item 7	ALL Chainlink and Backstop Fencing galv. ILO vinyl clad	(\$67,021)



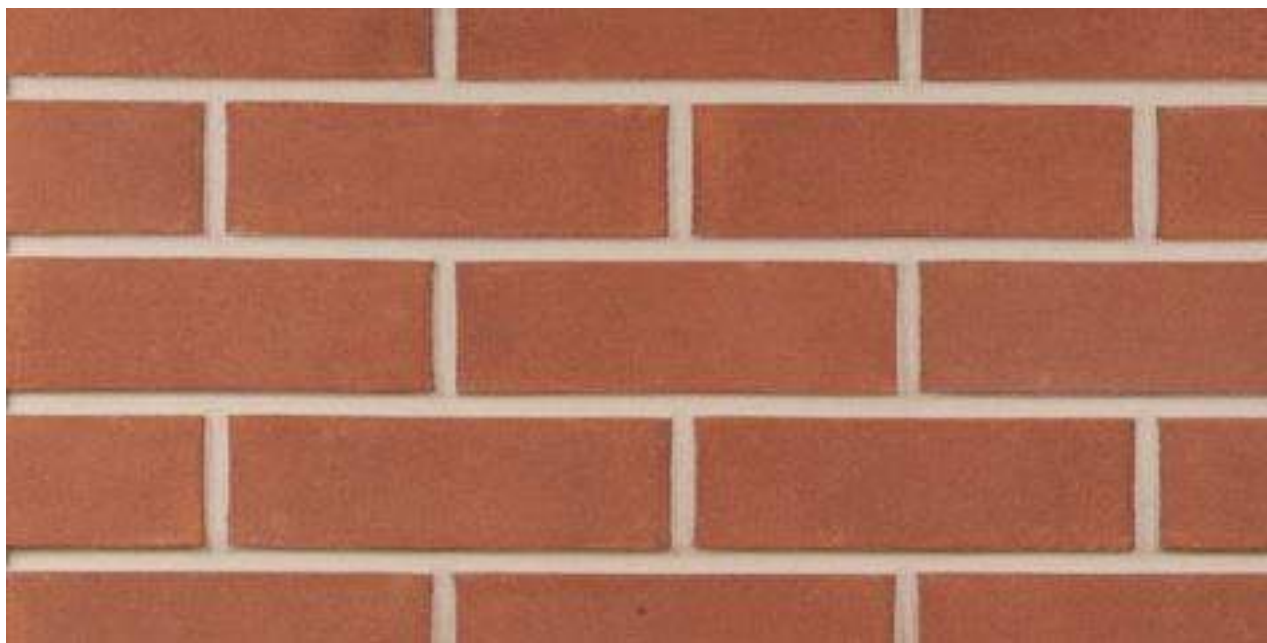
VE LIST: L02

L01	L2.2-2.3	Provide 4" sloped granite curbing ILO 5" vertical granite - 5,056 LF see attached drawings	(\$39,009)
L02	L2.30	Provide Bituminous side walks ILO concrete at areas not within inner curb line - see drawing	(\$56,736)
L4.30	Item 7	ALL Chainlink and Backstop Fencing galv. ILO vinyl clad	(\$67,021)



VE LIST: ITEM 7

L01	L2.2-2.3	Provide 4" sloped granite curbing ILO 5" vertical granite - 5,056 LF see attached drawings	(\$39,009)
L02	L2.30	Provide Bituminous side walks ILO concrete at areas not within inner curb line - see drawing	(\$56,736)
L4.30	Item 7	ALL Chainlink and Backstop Fencing galv. ILO vinyl clad	(\$67,021)

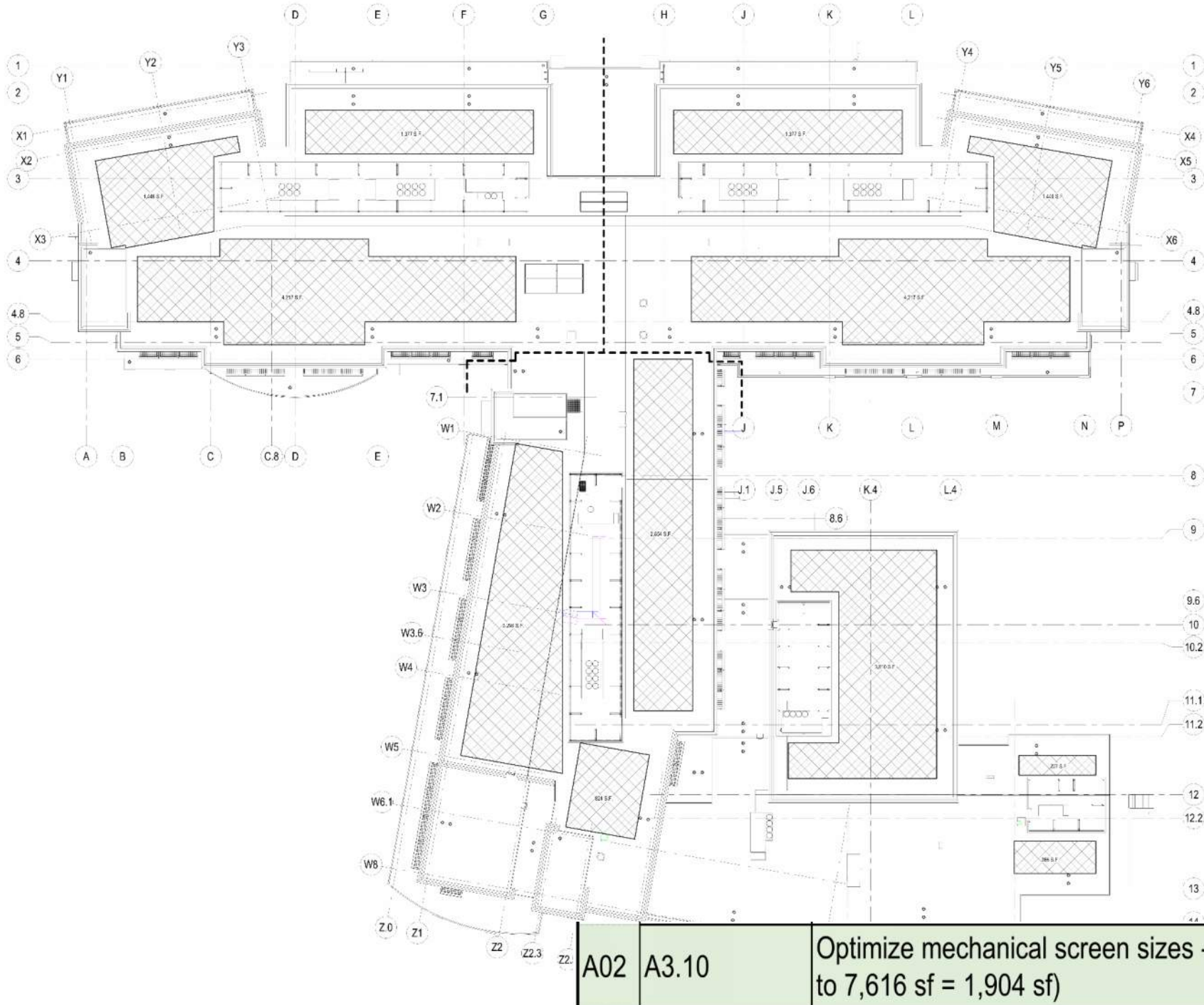


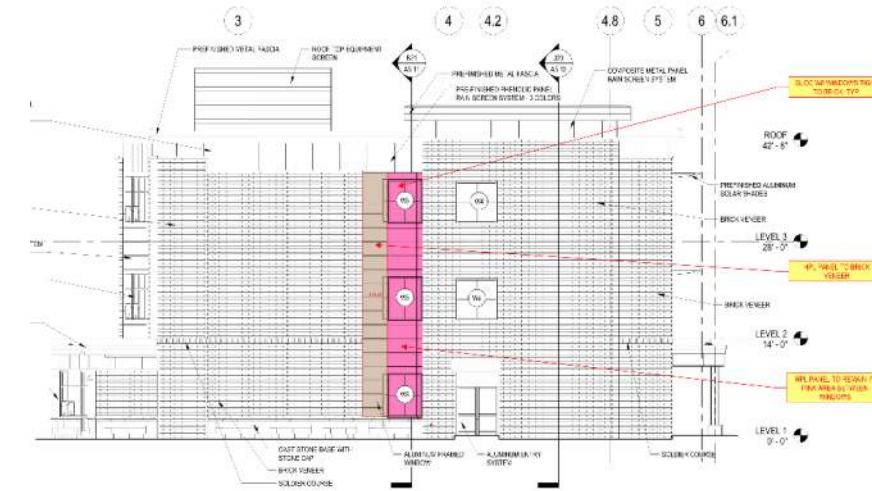
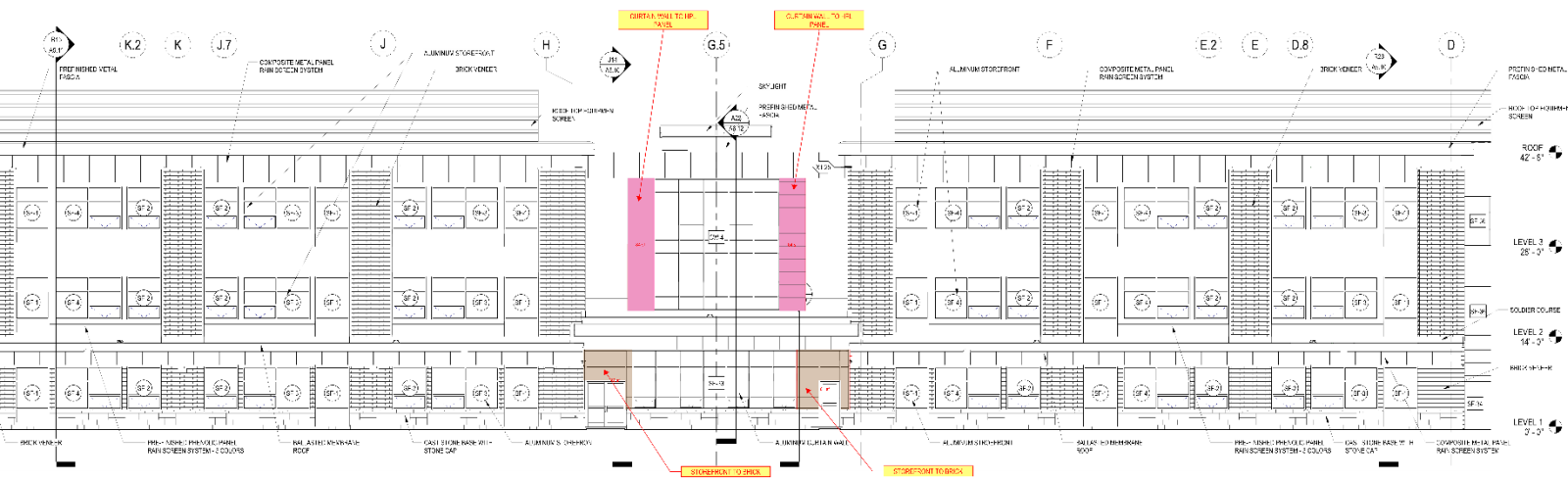
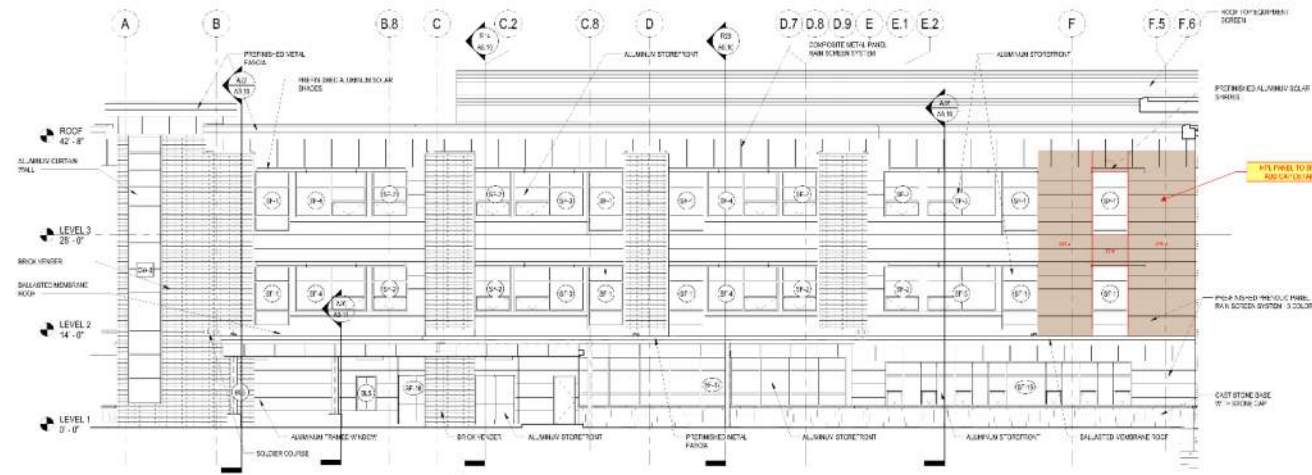
VE LIST:

A01- ITEM 16

A01	A4 dwgs / Item 16	Provide Utility brick ILO standard Modular brick on entire building.	(\$90,585)
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VE LIST: A01- ITEM 16





VE LIST: A01- ITEM 16

A03	A4.11-13 / Item 8	Change cladding from HPL Panel to Brick - 1,123 SF - see drawings \$29.84 SF	(\$33,507)
A04	A4.12 / Item 8	Change CW glazing system to HPL Panel system - 168 SF - see drawings \$30.25 SF	(\$5,082)
A05	A4.12 / Item 8	Change SF glazing to Brick cladding - 103 SF - see drawings \$28.25 SF	(\$2,910)



“CAST STONE” CMU:

- very weather resistant
- salt-resistant
- suitable for building base
- “Super CMU”



“SPLIT FACE” CMU:

- comparatively porous
- moderately salt-resistant
- not best choice for building base
- ground contact not advised



VE LIST: ITEM 17

Item 17

Provide Split Face CMU in lieu of Cast Stone Base

(\$76,500)

5PT30

ADMIRAL
SERIES

Therm Admiral Series transportable davit crane offers the best of all worlds, handling large loads up to 1.5 tons, with an adjustable boom for high lifts and almost 10 feet of reach, and can still be disassembled for relocation.



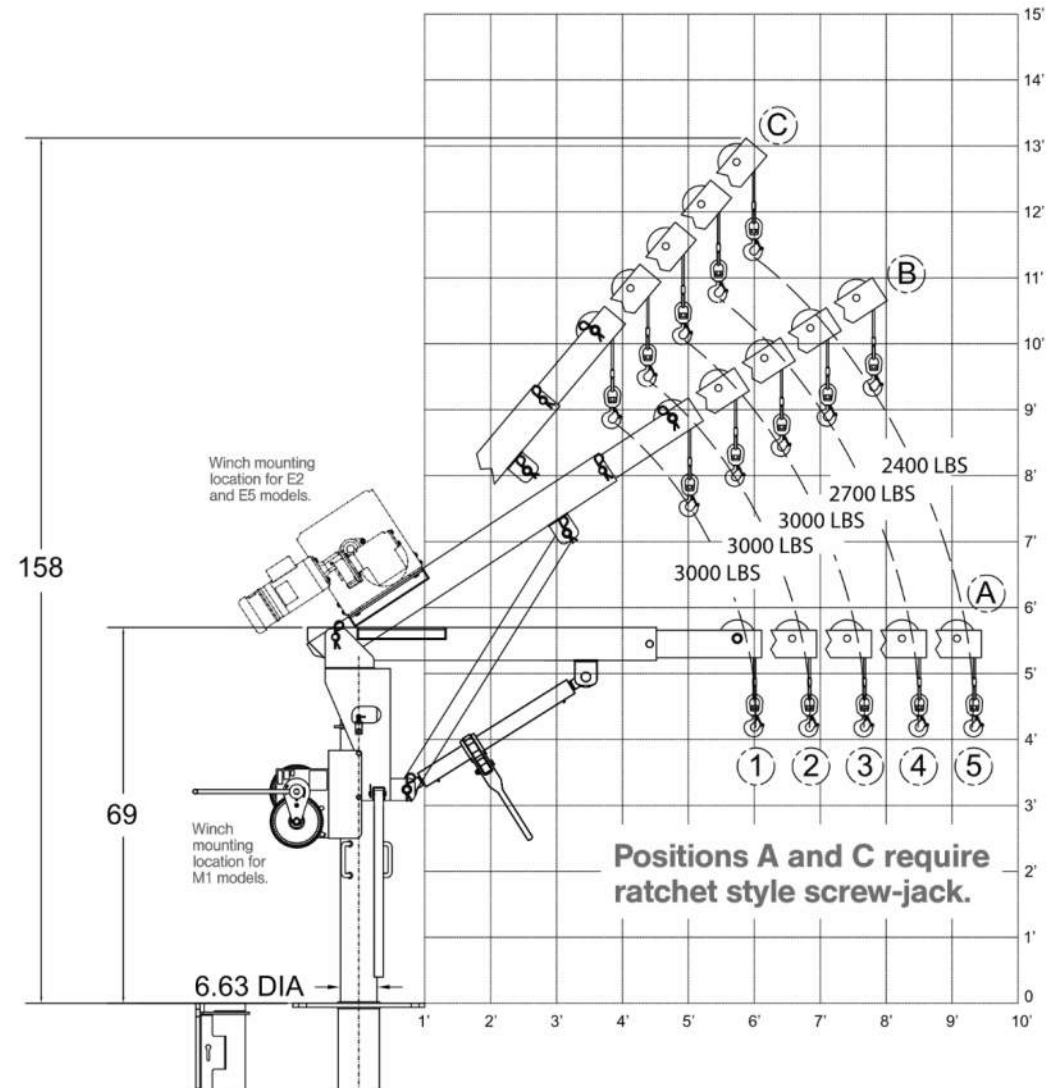
3000 lb Capacity Transportable Davit Crane

- Transportable
- Adjustable 5 Boom Lengths
- Adjustable Boom Angle
- Bearings for Smooth 360° Rotation
- Manual or Power Winch Operation
- Three Corrosion-Resistant Finishes
- Mast Locks in Six Positions
- Variety of Bases
- 2-Year Warranty

Model 5PT30J-M1
Base 5BP30



VE LIST: ITEM 18

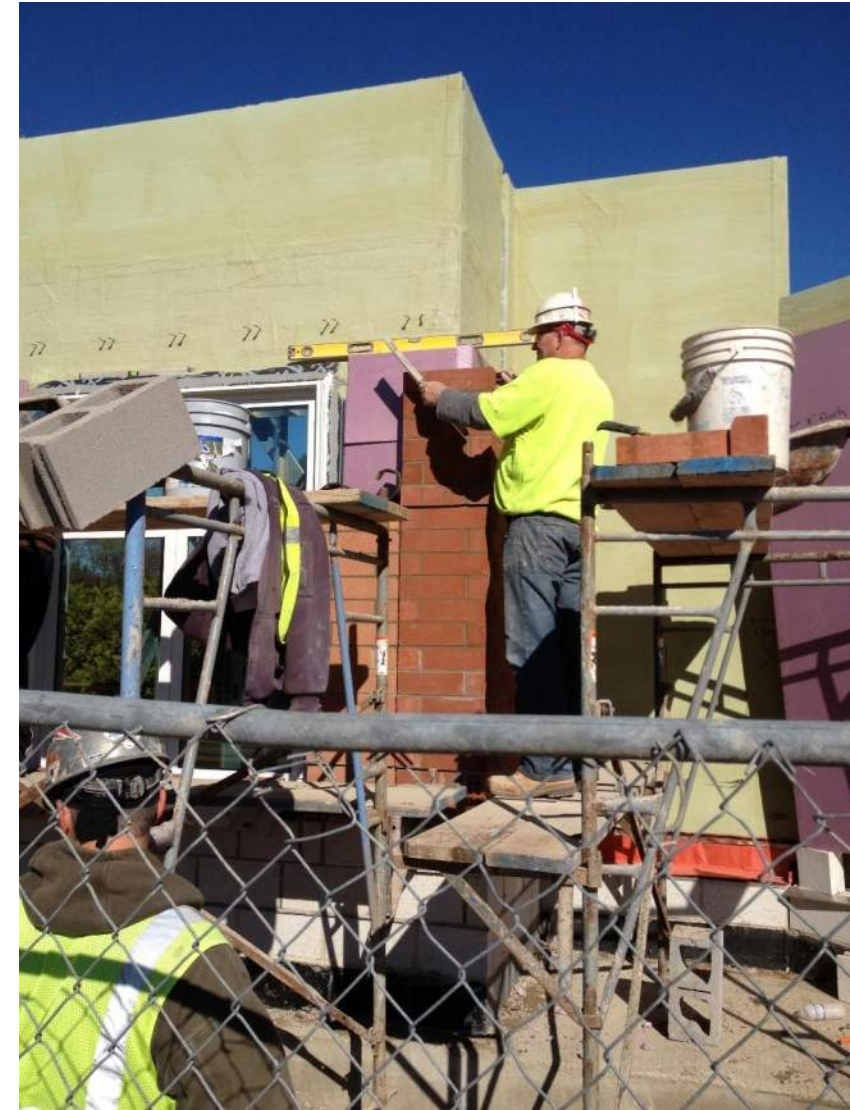


Item 18

ADD Roof Hoist

\$48,200

VE LIST: ITEM 28



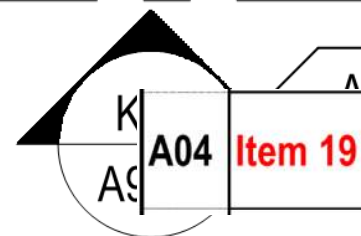
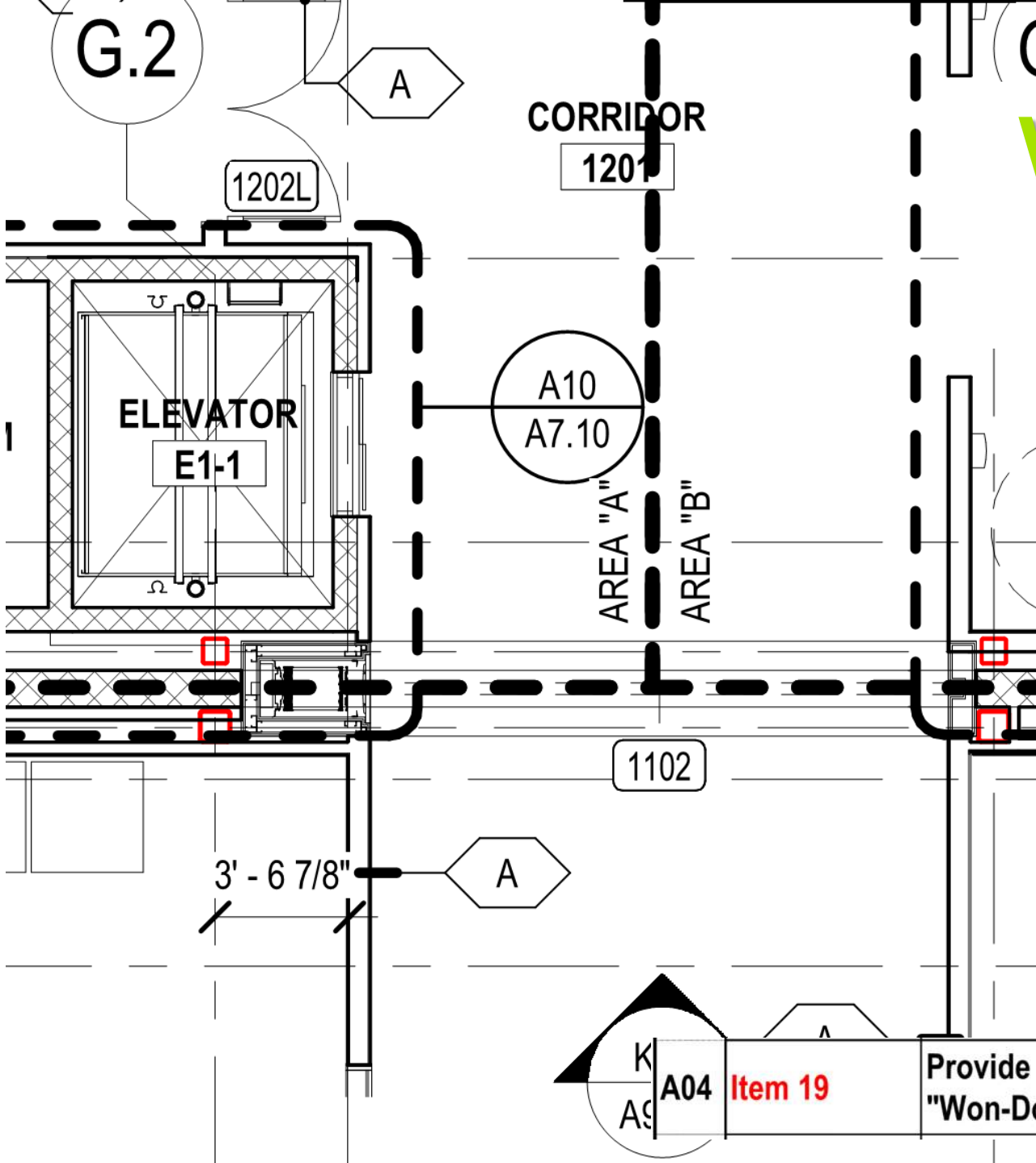
Item 28

Delete specified exterior mock-ups and go with in-place ILO

(\$41,000)

VE LIST: A04-ITEM 19

AS DESIGNED

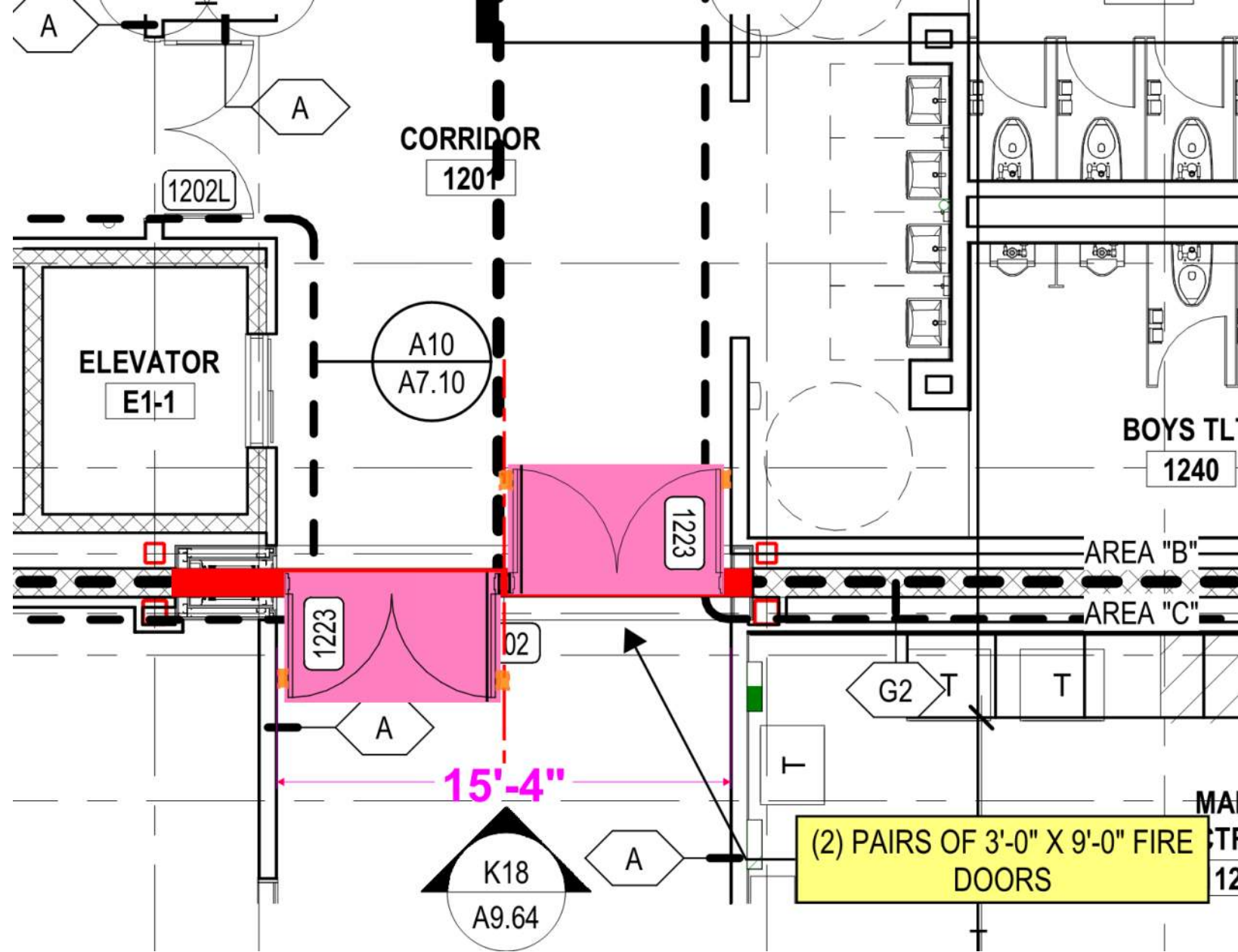


Provide swinging full-height fire doors [(2) pairs @ 4' w x 9' tall] ILO
"Won-Door" sliding fire door (3 levels)

(\$66,932)

VE LIST: A04- ITEM 19

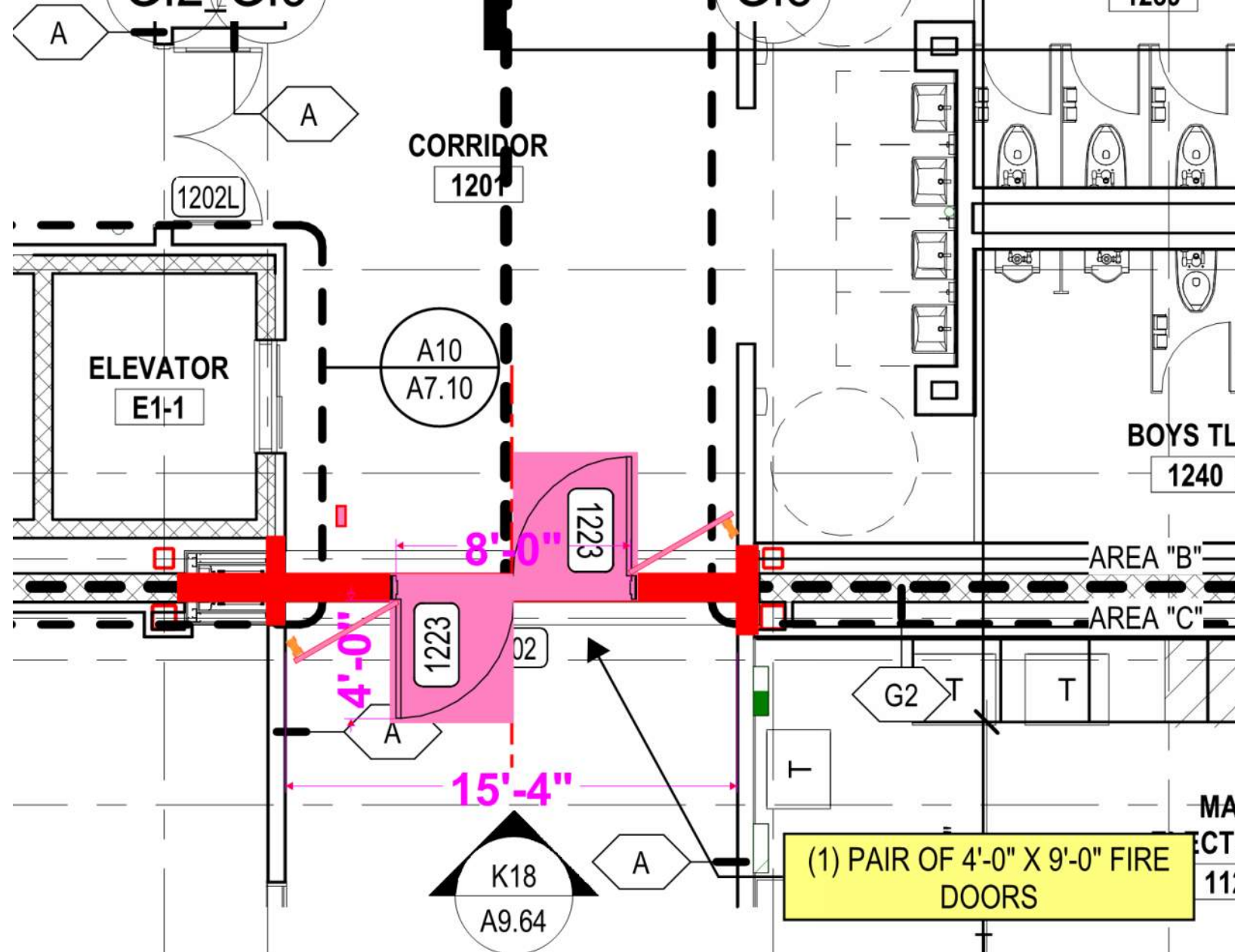
OPTION 1



A04	Item 19	Provide swinging full-height fire doors [(2) pairs @ 4' w x 9' tall] ILO "Won-Door" sliding fire door (3 levels)	(\$66,932)
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VE LIST: A04- ITEM 19

OPTION 2



A04	Item 19	Provide swinging full-height fire doors [(2) pairs @ 4' w x 9' tall] ILO "Won-Door" sliding fire door (3 levels)	(\$66,932)
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VE LIST: A05



A05		Provide narrow vision lites at all Classroom doors ILO half-glass door lites.	(\$16,932)
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VE LIST: A06



A06	Delete blackout shades from exterior windows - provide light-filtering fabric shades only	(\$22,100)
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VE LIST: ITEM 38



Item 38

A1.13 – "change wording of divider curtain to partition" , i.e. Provide Hard Divider partition ILO fabric/mesh curtain as specified.sensor edge, STC 49

\$60,844

ESTIMATED CONSTRUCTION COST COMPARISON

	SD PHASE (FONTAINE BROS., INC.)	DD PHASE PM&C COST ESTIMATORS	DD PHASE FONTAINE BROS. INC. (CM)
AREA (GSF)	167,352	167,352	167,352
BUILDING	\$47,191,265	\$50,673,892	\$50,767,822
SITE WORK & DEMO	\$10,956,995	\$12,104,861	\$12,554,970
MARK-UPS	\$21,344,403	\$16,073,239	\$16,157,650
TOTAL	\$79,492,663	\$78,851,992	\$79,480,442
Unit Cost (\$/SF)	\$475	\$471	\$475





Thank You!